



Property Condition Assessment

Property Address:



Champia Real Estate Inspections, LLC

**4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770 953 0767**

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Date: 3/29/2018	Time: 09:00:00 AM	Report ID: 31646
Property: [REDACTED]	Customer: [REDACTED]	Real Estate Professional: [REDACTED]

Executive Summary

This is a Property Condition Report "PCR" using the ASTM E2018 as a standard guideline to describe the condition of building or buildings for the property inspected. This process involves observation of the property by a person or entity. It can include interviews of sources, and reviews of available documentation for the purpose of developing an opinion and preparing a PCR of a commercial real estate's current physical condition. At the option of the user, a PCA may include a higher level of inquiry and due diligence than the baseline scope described within this guide or, at the user's option, it may include a lower level of inquiry or due diligence than the baseline scope described in this guide. If there are such deviations from this guide's scope it should be disclosed here on this page. A PCR is a written report, prepared in accordance with the recommendations contained in this guide, that outlines the consultant's observations, opinions as to the subject property's condition, and opinions of probable costs to remedy any material physical deficiencies observed.

In defining good commercial and customary practice for conducting a baseline PCA, the goal is to identify and communicate physical deficiencies to a user. The term physical deficiencies means the presence of conspicuous defects or material deferred maintenance of a subject property's material systems, components, or equipment as observed during the field observer's walk-through survey. This definition specifically excludes deficiencies that may be remedied with routine maintenance, miscellaneous minor repairs, normal operating maintenance, etc., and excludes de minimis conditions that generally do not present material physical deficiencies of the subject property. A walk-through survey, conducted during the field observer's site visit of the subject property, that consists of nonintrusive visual observations, survey of readily accessible, easily visible components and systems of the subject property. Concealed physical deficiencies are excluded. It is the intent of this guide that such a survey should not be considered technically exhaustive. It excludes the operation of equipment by the field observer and is to be conducted without the aid of special protective clothing, exploratory probing, removal of materials, testing, or the use of equipment, such as scaffolding, metering/testing equipment, or devices of any kind, etc. It is literally the field observer's visual observations while walking through the subject property.

This report could include short-term cost estimates, opinions of probable costs to remedy physical deficiencies, such as deferred maintenance, that may not warrant immediate attention, but require repairs or replacements that should be undertaken on a priority basis in addition to routine preventive maintenance. Such opinions of probable costs could include costs for testing, exploratory probing, and further analysis should this be deemed warranted by the consultant. The performance of such additional services are beyond this guide.

The purpose of the PCA is to observe and report, to the extent feasible pursuant to the processes prescribed herein, on the physical condition of the subject property.

Deviations from the Guide: No cost estimates provided or observation regarding ADA (Americans with Disability Act) requirements.

Recommendations: It is recommended that the user of this report review both summaries and the entire report. The complete report may include additional information of concern.

This property and subsequent building (s) has been inspected by [REDACTED], Champia Real Estate Inspections, LLC.

Summary of qualifications:

ASHI (American Society of Home Inspectors), Associated Inspector ([REDACTED])

ICC (International Code Council), S5 ([REDACTED])

Certified Residential Thermographer ([REDACTED])



Building Use: Manufacturing, Industrial	Construction Type: Metal	Number of floors/stories: 1- Story
Approximate building size: 9000+ square feet	Age Of building: Under 10 Years	Client Is Present: No
Weather: Cloudy	Temperature: Below 65	



Summary



Customer
[REDACTED]

Address
[REDACTED]

1. General Remarks

Summary

A. Other Observations

Inspected
NOTE: Observations regarding ADA requirements are limited to wheelchair access.

2. General Physical Condition

Summary

D. Paving, curbing and parking

Inspected
Cracks noted at rear driveway. Some of the parking area is not paved. Repair/replace as necessary.

E. Flatwork (sidewalks, plazas, patios)

Inspected
(2) Cracks noted at front walkway. Recommend to seal cracks/repair/replace as necessary to avoid moisture entry.
(3) Displaced/damaged pavers noted at right side driveway. Repair/replace as necessary to avoid trip hazard.

F. Landscaping, appurtenances

Attention Required



- (1) Flat grade note at left side. NOTE: Flat or reverse grading can lead to standing water and flooding to the interior. Recommend to install proper slope. NOTE: i.e. 6" within the first 10 ft.
- (2) Tree branches in touch with the exterior and observed at rear left and right sides. A minimum clearance between branches/vegetation and cladding/roof should be maintained to avoid damage. Adjust/remove trees as necessary.
- (3) Signs of animal activity noted at the interior (droppings). Recommend evaluation by a licensed wildlife and pest control service.

ADA Summary

D. Paving, curbing and parking

Inspected

Cracks noted at rear driveway. Some of the parking area is not paved. Repair/replace as necessary.

E. Flatwork (sidewalks, plazas, patios)

Inspected

(1) Intersection between sidewalk and front stoop is too narrow for wheelchair use. NOTE: Path widths for wheel chairs should be at least 36" wide. Repair as necessary.

3. Structural Frame and Building Envelope

Summary

C. Facades or curtain wall (the principal face of the building)

Attention Required

- (1) Improper installation of stone veneer suspected. The veneer stone across the front appears to be install directly onto the metal siding. NOTE: Adhered stone veneer typically requires a vapor barrier and mesh to adhere to. Recommend further evaluation by a licensed contractor.
- (2) Damage/separation noted at front stone veneer at numerous locations. Refer to images for typical locations and refer to previous comment for related observations.
- (3) Minor damage noted at rear metal siding. Repair as necessary.

E. Roofing

Not Inspected

NOTE: The roof area was not accessible. Recommend evaluation by a licensed roofing contractor.

4. Mechanical and Electrical System

Summary

A. Plumbing water supply, distribution and fixtures

Inspected

- (1) Manual hand pumps noted at front and rear left corners. The handle(s) are hard to operate. Recommend service.
- (2) The sink in the warehouse is severely soiled. Recommend replacement.

C. Domestic hot water production

Attention Required

- (1) The serial number of water heater data plate indicates a year of manufacture in 2007 and the water heater is 11 years old. NOTE: Typically water heaters last 10 years. Monitor and replace as necessary. Budget for replacement.
- (2) Lukewarm water supply noted. NOTE: The temperature settings at the water heater were set to normal heat temperatures (presumably). Recommend further evaluation by a licensed plumbing contractor.

D. Air conditioning / heating equipment

Attention Required



- (1) **Recommend further evaluation of air conditioning and heating units by a licensed HVAC contractor based on the observations noted:**
- (2) The data plate of the exterior AC unit is faded/not legible. Recommend to record data manually for future reference.
- (3) Intrusion of vines noted at the AC screen. NOTE: AV screens should be kept clear of intrusions to maximize performance.
- (4) **The AC wall unit in the warehouse office did not operate reliably/shut down after start up. Recommend further evaluation by a licensed contractor.**
- (5) **The AC unit/heat for the front office area did not operate. Unable to test air conditioning and heating in this area. Evaluate AC/heating units/thermostat and repair/replace as necessary.**
- (6) Dust accumulation noted at filter and return plenum of the air handler for the office area. Recommend service and frequent/as necessary replacement of the filter to improve air quality.
- (7) NOTE: The warehouse is heated only with/by 3 units. Observations:
 - **The front left and center units did not operate**
 - **The thermostat for the center unit did not operate**
 - **The thermostat for the front left unit is not readily accessible**
 - All thermostats are inconveniently located (high). Recommend to provide ready access to the thermostats. Refer to (heating unit manufactures) guidelines

Evaluate units, thermostats and repair/replace as necessary.

- (8) Some rust noted at the evaporator coils and inside the return plenum. Evaluate the equipment and repairs/replacements as necessary.

E. Ventilation

Not Present, Attention Required

- (1) Unsealed duct cover noted at left side. Seal as necessary to avoid moisture entry.
- (2) NOTE: No means if ventilation noted in the warehouse. Add ventilation to improve air quality. NOTE: Typically vent requirements for warehouses are 0.05 cfm/sq.ft. (cubic ft/minute per sq.ft.) per person. Recommend to consult with a licensed contractor for further evaluation.

F. Electric service and meter

Attention Required

- (1) **Recommend further evaluation of the electrical system by a licensed electrical contractor based on the observations noted:**
- (2) The panel cover of the distribution panel does not close/lock. Repair as necessary.
- (3) Missing labels noted for breakers in the distribution panel. Identify circuits/purpose and label the breakers accordingly.
- (4) Missing knock-out covers noted at lower left in the distribution panel. Install covers.
- (5) **Unprotected (and charged) conductors noted in the distribution panel. Protect/secure conductors with approved means.**
- (6) Loose strands noted at numerous conductors at the breaker terminal(s). NOTE: Stranded wiring should be inserted completely into terminals to provide optimum contact.
- (7) NOTE: Some functions (i.e. warehouse lights) have to be turned on/off at breakers in the distribution panel. Recommend to install switches at conveniently accessible locations.
- (8) Loose cable/extension noted at right side of the distribution panel. Secure cable with appropriately sized clamp.
- (9) Improper grounding noted at the sub-panel in the warehouse office. NOTE: Grounded conductors (neutral) wiring should be separated from the ground conductor (ground wire) downstream of the disconnect. Repair as necessary.
- (10) Improperly sized (too small) ground conductor (ground wire) suspected. NOTE: Ground conductors should be sized based on the supply size of service cable. Evaluate conductors size and replace if necessary.

ALSO: The clamp does not appear to be approved for the attachment application and the ground conductor (ground wire) should connect directly on bare metal. Evaluate attachment and repair as necessary.

- (11) Missing bonding jumper noted around installed equipment (i.e. pressure reduction valve). NOTE: The copper water supply/distribution system should be bonded around equipment installed in the system. Repair as necessary to include the whole copper water line supply/distribution system into the grounding system.

G. Electric distribution

**Attention Required**

- (1) Loose disconnect panels noted at left side. Secure equipment as necessary.
- (2) Not operating light fixtures noted at numerous locations and observed in the warehouse, warehouse office and front left office. Replace light bulbs/evaluate circuits. Replace/repair as necessary.

5. Fire Protection**Summary****B. Other systems (emergency lights)****Attention Required**

None of the emergency lights operated. Recommend evaluation and repairs/replacements as necessary.

C. Fire extinguishers**Not Inspected**

Fire extinguishers noted at numerous locations. NOTE: All equipment appears to be in working order. Recommend to consult with the local fire marshal for local requirements.

6. Warehouse**Summary****A. Windows, doors****Inspected**

- (1) The left exit door binds. Adjust as necessary.
- (2) Left latches at right and left overhead door did not engage. Adjust as necessary.

B. Ceiling, walls, floors and stairs**Attention Required**

- (1) Handrail not graspable at loft stairs. NOTE: Handrails should be graspable. Install appropriate handrail design.
- (2) Missing joist hangers noted at loft stair landing. NOTE: Joists should be secured with joist hangers. Install joist hangers with approved fasteners.
- (3) Pickets too wide at loft stair railing. NOTE: Pickets at stair railings should not spaced wider than 4 3/8" apart. Repair as necessary.
- (4) Improper post-to-beam/rim board attachment. NOTE: Posts (i.e. 4x4") should be attached full-width with 2 x 1/2" bolts (and washers). Repair as necessary and ensure proper structure at interior side.
- (5) Pickets too wide at loft guard rail. NOTE: Pickets at guard railings should not spaced wider than 4" apart. Repair as necessary.
- (6) Damaged/worn flooring noted at warehouse office. Recommend replacement.
- (7) Cracks noted at warehouse flooring at numerous locations. Monitor and repair as necessary.
- (8) Protruding bolts noted at numerous locations at the warehouse floor. Remove bolts and seal openings.
- (9) Oily substance noted at warehouse at right side. Recommend Phase I inspection. Clean with approved materials and dispose at approved locations.

7. Office area**Summary****A. Windows, doors****Inspected**

Door at rear right office binds. Adjust as necessary.

B. Ceiling, walls, floors and stairs



Inspected

Worn flooring noted throughout the office area. Refer to images for typical locations. Clean/repair/replace as necessary.

D. Bathrooms

Attention Required

(1) The toilet flush tank at the women's bathroom runs continuously (the fill valve appears to be damaged). NOTE: Inspector closed supply valve after inspection.

(2) Loose sink(s) noted at women's/men's bathroom(s). Secure sinks as necessary.

E. Electrical

Inspected

Not operating light fixture noted at rear left office. Replace light bulbs/evaluate circuits. Replace/repair as necessary.

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1. General Remarks

		IN	NI	NP	AR
A.	Other Observations	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

INNI NP AR

Comments:

A. NOTE: Observations regarding ADA requirements are limited to wheelchair access.

2. General Physical Condition

Orientation: From the front of the property.

Styles & Materials

General topography: Flat	Storm water drainage: Positive slope	Access and egress: Paved driveway
Paving curbing parking: Concrete parking lot Dirt surface	Number of parking levels: One	Number of parking spaces: Less than 20

		IN	NI	NP	AR
A.	Topography	•			
B.	Storm water drainage	•			
C.	Access, egress	•			
D.	Paving, curbing and parking	•			
E.	Flatwork (sidewalks, plazas, patios)	•			
F.	Landscaping, appurtenances				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required


INNI NP AR

Comments:

 **D.** Cracks noted at rear driveway. Some of the parking area is not paved. Repair/replace as necessary.

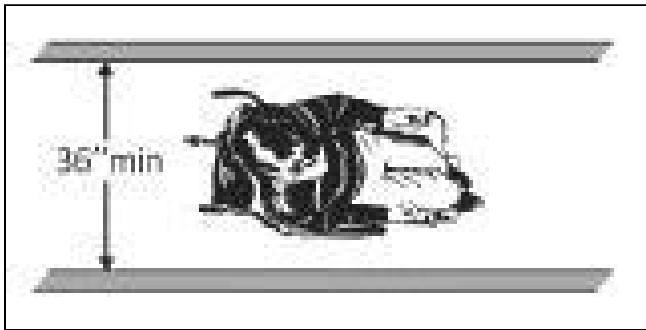




 E. (1) Intersection between sidewalk and front stoop is too narrow for wheelchair use. NOTE: Path widths for wheel chairs should be at least 36" wide. Repair as necessary.



Front sidewalk



E. (2) Cracks noted at front walkway. Recommend to seal cracks/repair/replace as necessary to avoid moisture entry.



Front





E. (3) Displaced/damaged pavers noted at right side driveway. Repair/replace as necessary to avoid trip hazard.



Right

F. (1) Flat grade note at left side. NOTE: Flat or reverse grading can lead to standing water and flooding to the interior. Recommend to install proper slope. NOTE: i.e. 6" within the first 10 ft.



Left side





F. (2) Tree branches in touch with the exterior and observed at rear left and right sides. A minimum clearance between branches/vegetation and cladding/roof should be maintained to avoid damage. Adjust/remove trees as necessary.



Left

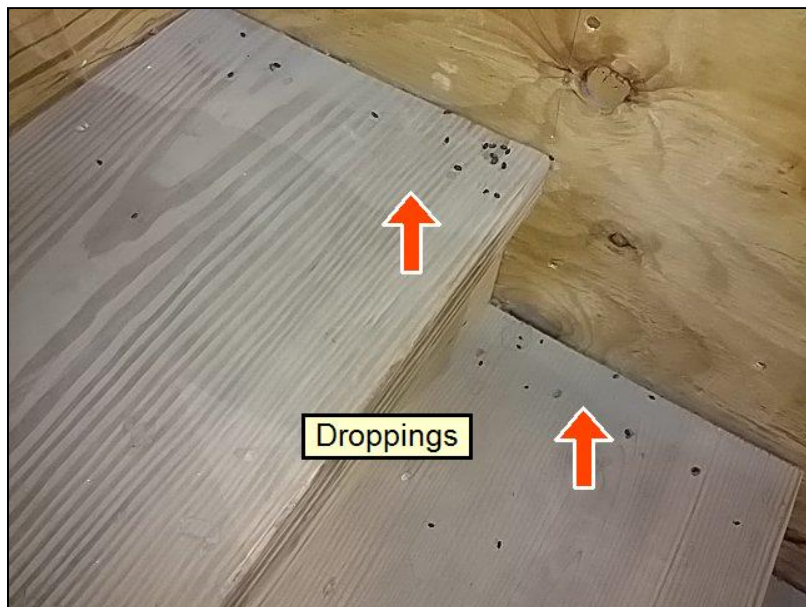


Right





F. (3) Signs of animal activity noted at the interior (droppings). Recommend evaluation by a licensed wildlife and pest control service.



Interior stairs

GROUND / GENERAL

The inspector shall inspect: Attached and adjacent decks, balconies, stoops, steps, porches, and their associated flashings and railings. Vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Adjacent and entryway walkways, patios and driveways.

The inspector is NOT required to inspect: Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities, seawalls, break-walls, and docks. Erosion control and earth stabilization measures.

The inspector is NOT required to determine: Adequacy of parking facilities, ADA (Americans for Disability Act) requirements.



3. Structural Frame and Building Envelope

Orientation: Facing from front of property, room or area as applicable.

Styles & Materials

Foundation: Slab	Building type: Metal	Exterior entry doors: Insulated glass
Window types: Thermal/insulated	Siding material: Metal Stone	Roof covering: Metal
Viewed roof covering from: Ground		

		IN	NI	NP	AR
A.	Foundation		•		
B.	Building frame	•			
C.	Facades or curtain wall (the principal face of the building)				•
D.	Fenestration system (i.e. windows, openings, doors etc.)	•			
E.	Roofing		•		

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

Comments:

C. (1) Improper installation of stone veneer suspected. The veneer stone across the front appears to be install directly onto the metal siding. NOTE: Adhered stone veneer typically requires a vapor barrier and mesh to adhere to. Recommend further evaluation by a licensed contractor.



Example: Front



C. (2) Damage/separation noted at front stone veneer at numerous locations. Refer to images for typical locations and refer to previous comment for related observations.



Front right column





Front left



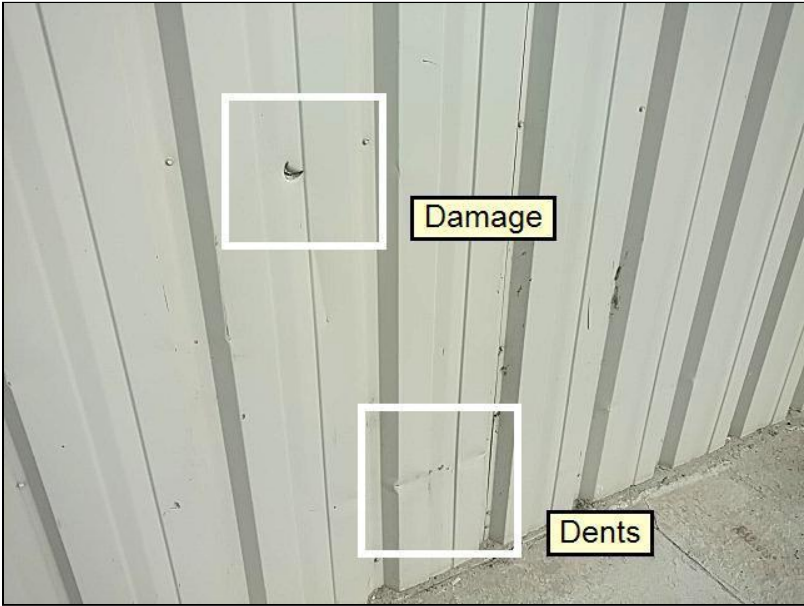
Front center





Front right

C. (3) Minor damage noted at rear metal siding. Repair as necessary.



Rear left





Rear center

E. NOTE: The roof area wa not accessible. Recommend evaluation by a licensed roofing contractor.





FOUNDATION

The inspector shall inspect: Structural components, including the foundation and framing. Insulation and vapor retarders in unfinished spaces, ventilation of foundation areas.

The inspector shall describe: The foundation, the floor structure, the wall structure, the ceiling structure. Insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. Methods used to inspect under-floor crawlspaces.

The inspector is NOT required: To disturb insulation.

The inspector is NOT required to provide: Engineering or architectural services or analysis. The inspector is NOT required to offer: An opinion about the adequacy of structural systems and components. The inspector is NOT required to enter: Under-floor crawlspace areas that have less than 24 inches of vertical clearance between component and the ground or that have an access opening smaller than 16 inches by 24 inches.

EXTERIOR

The inspector shall inspect: Wall coverings, flashing, and trim, exterior doors, eaves, soffits, and fascias where accessible from the ground level.

The inspector shall describe: Wall coverings.

The inspector is NOT required to inspect: Screening, shutters, awnings, and similar seasonal accessories. Outbuildings other than garages and carports.

ROOF / ATTIC

The inspector shall inspect: Roofing materials, roof drainage systems. Flashing, skylights, chimneys and roof penetrations. Insulation and ventilation of attics. The inspector shall describe: Methods used to inspect the roofing. Roofing materials, insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces.

The inspector is NOT required to disturb insulation.

The inspector is NOT required to inspect: Antennae, interiors of vent systems. Flues and chimneys that are not readily accessible. Other installed accessories.

The inspector is NOT required to traverse: Attic load-bearing components that are concealed by insulation or by other materials.

4. Mechanical and Electrical System

Orientation: Facing room, system or appliance as identified.

Styles & Materials

Plumbing water supply (into building): Copper	Plumbing water distribution (inside building): Copper	Plumbing waste: PVC
Water heater power source: Electric	Water heater capacity: 40 gallon	Water Heater Manufacturer: BRADFORD-WHITE
Water Heater Location: Under Stairs	Heat Type: Forced Air Heat Pump Forced Air (also provides cool air)	Number of Heat Systems (excluding wood): Four
Energy Source for Heat: Gas Electric	Heat System Brand: Numerous/various	Ductwork: Insulated
Cooling Equipment Type: Heat Pump Forced Air (also provides warm air) Window AC	Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: CARRIER
Electrical Service Conductors: Below ground	Panel Type: Circuit breakers	

		IN	NI	NP	AR
A.	Plumbing water supply, distribution and fixtures	•			
B.	Plumbing drain, waste and vent systems	•			
C.	Domestic hot water production				•
D.	Air conditioning / heating equipment				•
E.	Ventilation			•	•
F.	Electric service and meter				•
G.	Electric distribution				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

Comments:



A. (1) Manual hand pumps noted at front and rear left corners. The handle(s) are hard to operate. Recommend service.



This location: Rear left

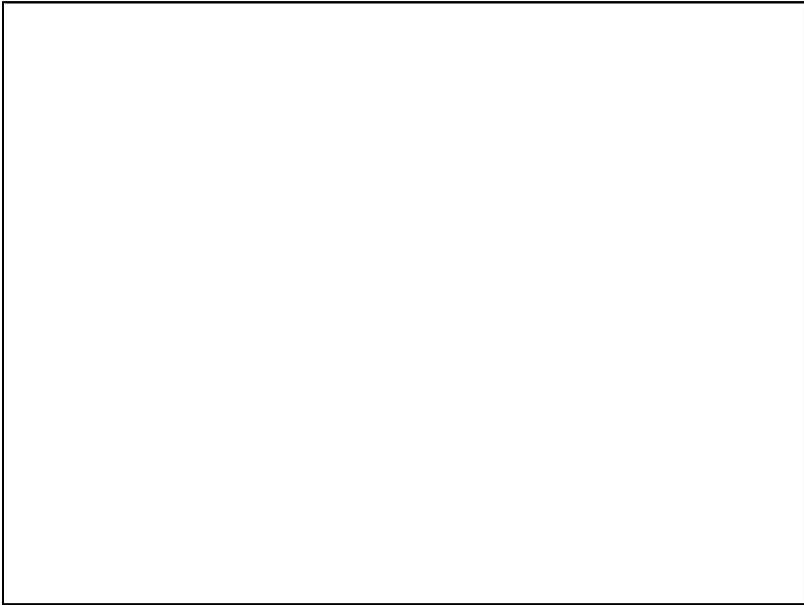
A. (2) The sink in the warehouse is severely soiled. Recommend replacement.



Warehouse



C. (1) The serial number of water heater data plate indicates a year of manufacture in 2007 and the water heater is 11 years old. NOTE: Typically water heaters last 10 years. Monitor and replace as necessary. Budget for replacement.



Age of water heater

C. (2) Lukewarm water supply noted. NOTE: The temperature settings at the water heater were set to normal heat temperatures (presumably). Recommend further evaluation by a licensed plumbing contractor.



Water heater





D. (1) Recommend further evaluation of air conditioning and heating units by a licensed HVAC contractor based on the observations noted:

D. (2) The data plate of the exterior AC unit is faded/not legible. Recommend to record data manually for future reference.



2007

D. (3) Intrusion of vines noted at the AC screen. NOTE: AV screens should be kept clear of intrusions to maximize performance.



AC unit





D. (4) The AC wall unit in the warehouse office did not operate reliably/shut down after start up. Recommend further evaluation by a licensed contractor.



Warehouse office

D. (5) The AC unit/heat for the front office area did not operate. Unable to test air conditioning and heating in this area. Evaluate AC/heating units/thermostat and repair/replace as necessary.



D. (6) Dust accumulation noted at filter and return plenum of the air handler for the office area. Recommend service and frequent/as necessary replacement of the filter to improve air quality.



Filter

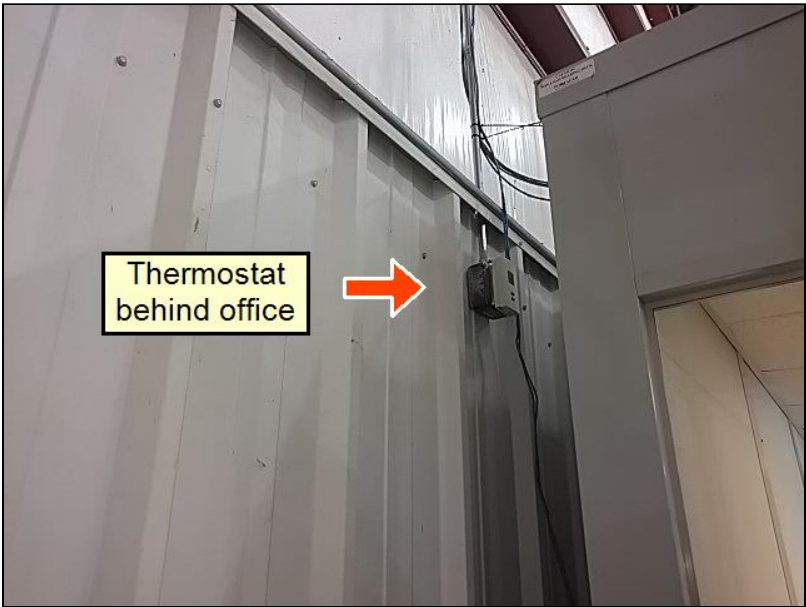
D. (7) NOTE: The warehouse is heated only with/by 3 units. Observations:

- The front left and center units did not operate
- The thermostat for the center unit did not operate
- The thermostat for the front left unit is not readily accessible
- All thermostats are inconveniently located (high). Recommend to provide ready access to the thermostats. Refer to (heating unit manufactures) guidelines

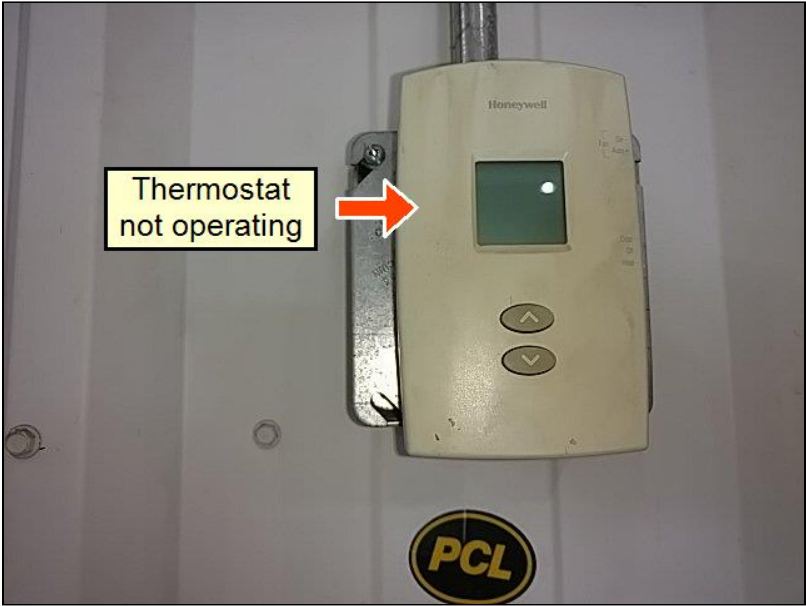
Evaluate units, thermostats and repair/replace as necessary.



Warehouse heaters



Left



Front center





D. (8) Some rust noted at the evaporator coils and inside the return plenum. Evaluate the equipment and repairs/replacements as necessary.



Evaporator

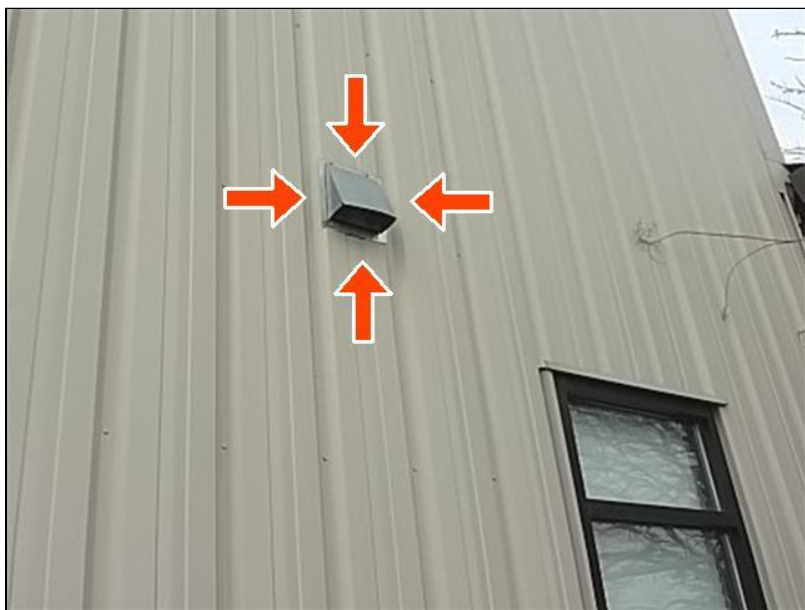


Return plenum



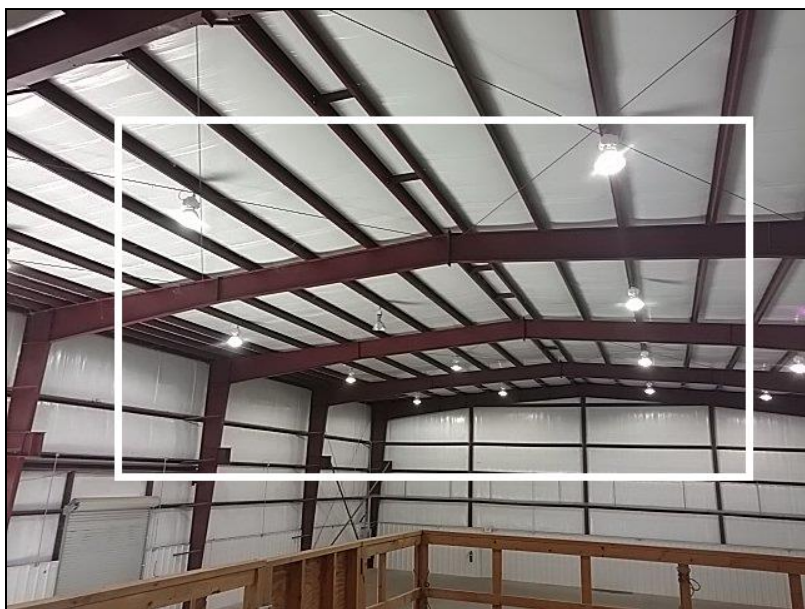


E. (1) Unsealed duct cover noted at left side. Seal as necessary to avoid moisture entry.



Left

E. (2) NOTE: No means if ventilation noted in the warehouse. Add ventilation to improve air quality. NOTE: Typically vent requirements for warehouses are 0.05 cfm/sq.ft. (cubic ft/minute per sq.ft.) per person. Recommend to consult with a licensed contractor for further evaluation.

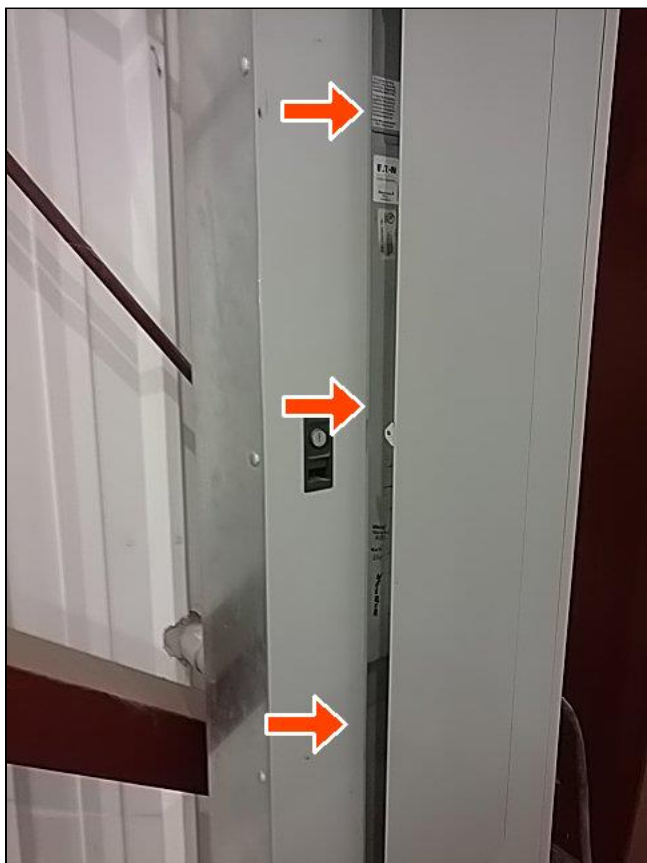


Warehouse



F. (1) Recommend further evaluation of the electrical system by a licensed electrical contractor based on the observations noted:

F. (2) The panel cover of the distribution panel does not close/lock. Repair as necessary.





F. (3) Missing labels noted for breakers in the distribution panel. Identify circuits/purpose and label the breakers accordingly.

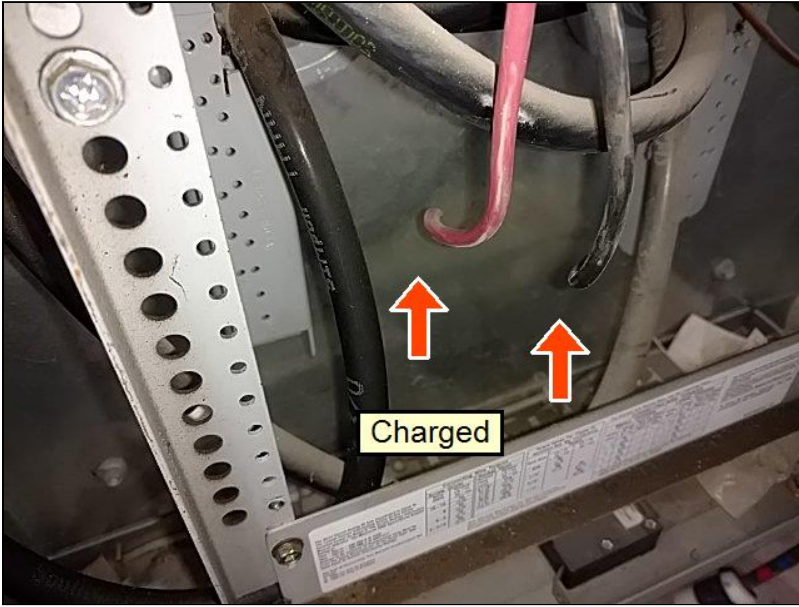


F. (4) Missing knock-out covers noted at lower left in the distribution panel. Install covers.

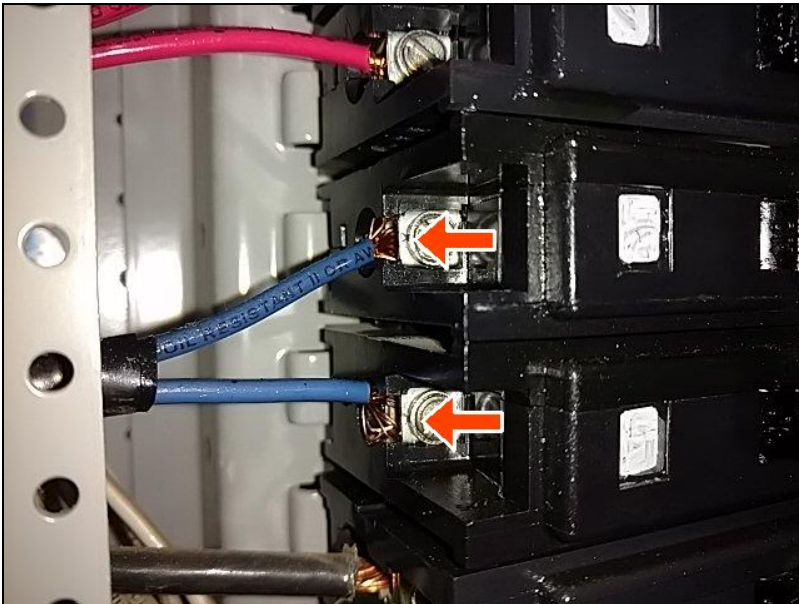




F. (5) Unprotected (and charged) conductors noted in the distribution panel. Protect/secure conductors with approved means.



F. (6) Loose strands noted at numerous conductors at the breaker terminal(s). NOTE: Stranded wiring should be inserted completely into terminals to provide optimum contact.





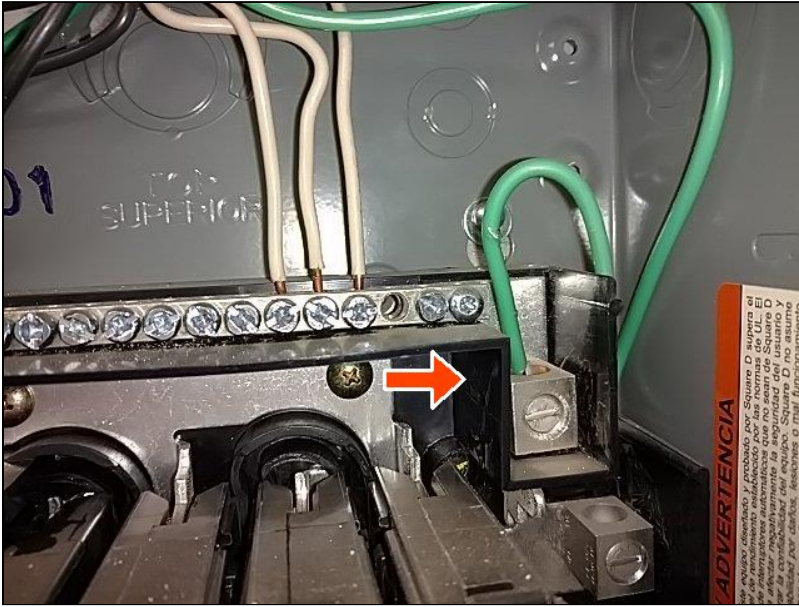
F. (7) NOTE: Some functions (i.e. warehouse lights) have to be turned on/off at breakers in the distribution panel. Recommend to install switches at conveniently accessible locations.



F. (8) Loose cable/extension noted at right side of the distribution panel. Secure cable with appropriately sized clamp.



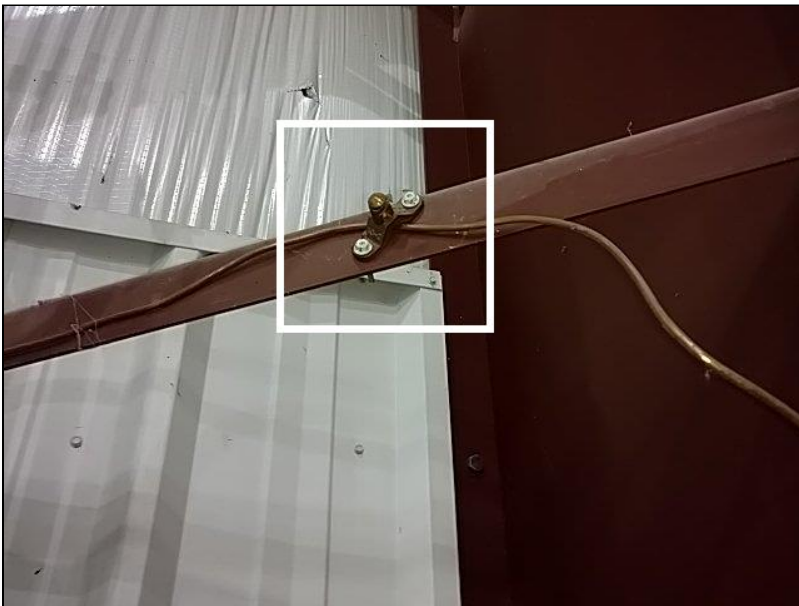
F. (9) Improper grounding noted at the sub-panel in the warehouse office. NOTE: Grounded conductors (neutral) wiring should be separated from the ground conductor (ground wire) downstream of the disconnect. Repair as necessary.



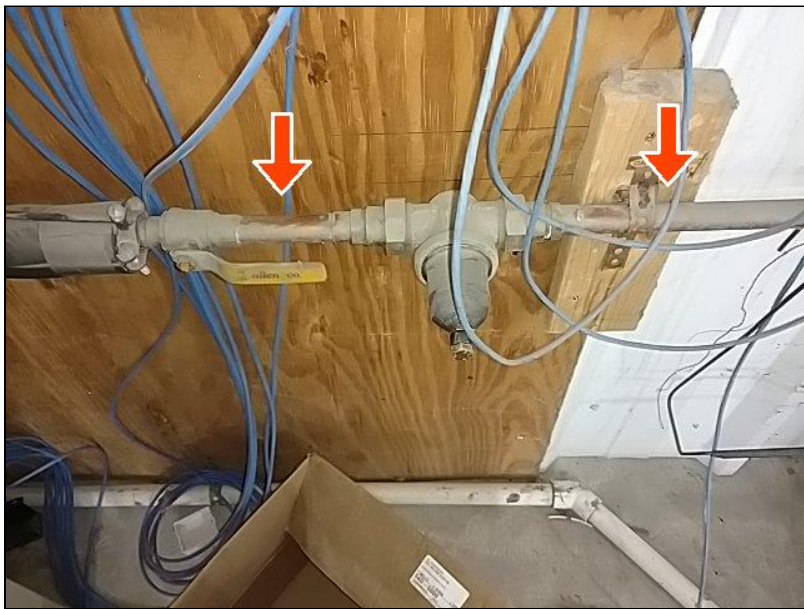
Sub-panel

F. (10) Improperly sized (too small) ground conductor (ground wire) suspected. NOTE: Ground conductors should be sized based on the supply size of service cable. Evaluate conductors size and replace if necessary.

ALSO: The clamp does not appear to be approved for the attachment application and the ground conductor (ground wire) should connect directly on bare metal. Evaluate attachment and repair as necessary.



F. (11) Missing bonding jumper noted around installed equipment (i.e. pressure reduction valve). NOTE: The copper water supply/distribution system should be bonded around equipment installed in the system. Repair as necessary to include the whole copper water line supply/distribution system into the grounding system.



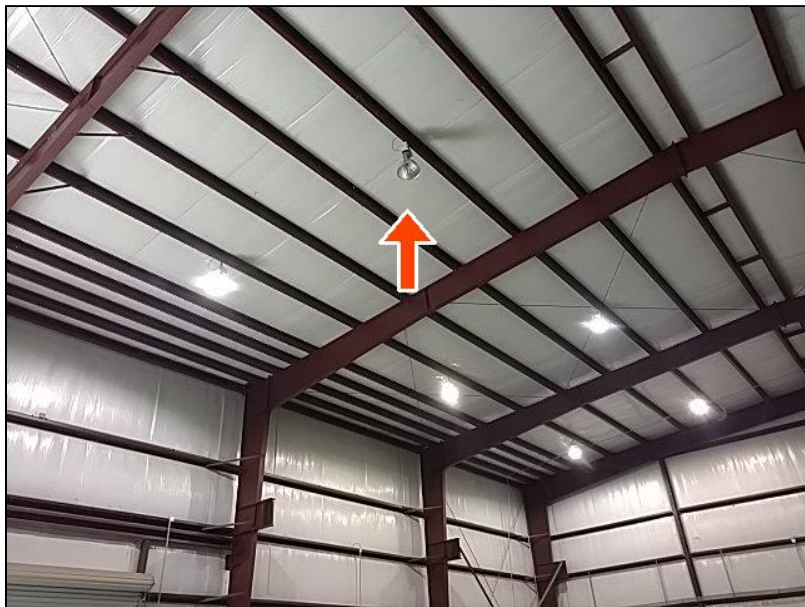
Pressure reduction valve

G. (1) Loose disconnect panels noted at left side. Secure equipment as necessary.



Exterior, left

G. (2) Not operating light fixtures noted at numerous locations and observed in the warehouse, warehouse office and front left office. Replace light bulbs/evaluate circuits. Replace/repair as necessary.



This location: Warehouse lights



This location: Warehouse office lights

PLUMBING

The inspector shall inspect: Interior water supply and distribution systems including fixtures and faucets. Interior drain, waste, and vent systems including fixtures, water heating equipment and hot water supply systems, vent systems, flues, and chimneys. Fuel storage and fuel distribution systems. Sewage ejectors, sump pumps, and related piping. Clothes dryer, laundry, bathroom and similar exhaust systems.

The inspector shall describe: Interior water supply. Drain, waste, and vent piping materials. Water heating equipment, including energy source(s). Location of main water and fuel shut-off valves.

The inspector is NOT required to inspect: Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment, water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems. Landscape irrigation systems. Septic and other sewage disposal systems. The inspector is NOT required to determine: Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, well water quantity. Fill shower pans and fixtures to test for leaks.

5. Fire Protection

Orientation: Facing sources or system as applicable.

Styles & Materials

Sprinkler system:

None

Fire Alarm system:

No

		IN	NI	NP	AR
A.	Alarm systems (smoke alarms)			•	
B.	Other systems (emergency lights)				•
C.	Fire extinguishers		•		

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

INNI NP AR

Comments:

B. None of the emergency lights operated. Recommend evaluation and repairs/replacements as necessary.

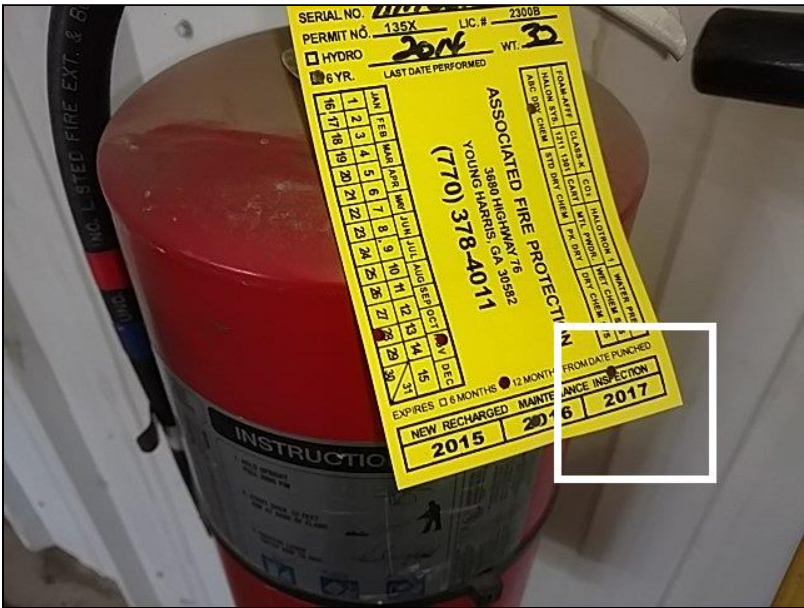


This location: Front left



This location: Front

C. Fire extinguishers noted at numerous locations. NOTE: All equipment appears to be in working order. Recommend to consult with the local fire marshal for local requirements.



This location: Warehouse

FIRE PROTECTION

The inspector shall: Visually inspect accessible systems.

The inspector is not required to: Determine NFPA hazard classifications, classifying, testing fire rating of assemblies or determine adequacy of installed systems.



6. Warehouse

Orientation: Facing room or area as applicable.

Styles & Materials

Ceiling materials:	Wall material:	Floor covering(s):
Insulated / not visible	Drywall	Linoleum
	Insulated / not visible	
	Metal	

		IN	NI	NP	AR
A.	Windows, doors	•			
B.	Ceiling, walls, floors and stairs				•
C.	Electrical	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

INNI NP AR

Comments:

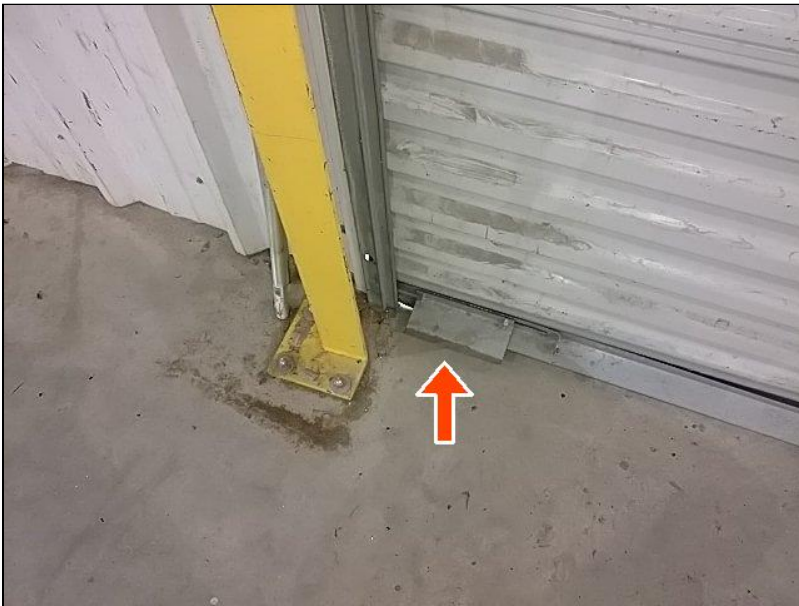
A. (1) The left exit door binds. Adjust as necessary.



Left exit door



A. (2) Left latches at right and left overhead door did not engage. Adjust as necessary.



Right overhead door



Left overhead door

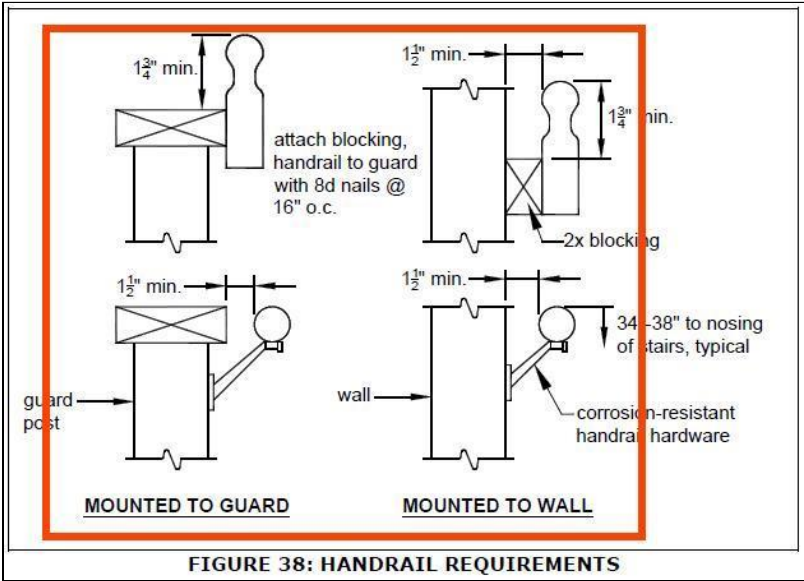




B. (1) Handrail not graspable at loft stairs. NOTE: Handrails should be graspable. Install appropriate handrail design.



Loft stairs

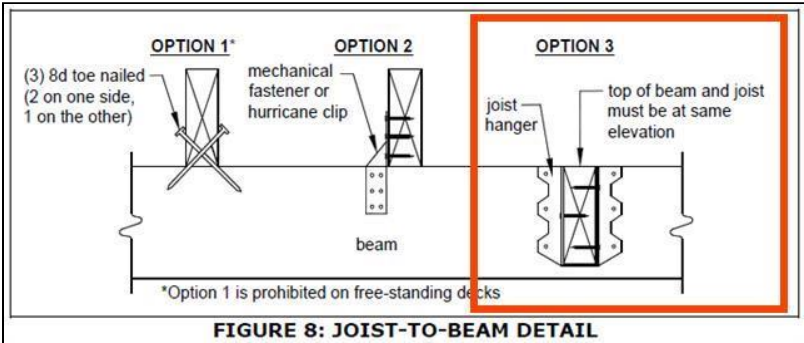




B. (2) Missing joist hangers noted at loft stair landing. NOTE: Joists should be secured with joist hangers. Install joist hangers with approved fasteners.



Loft landing



B. (3) Pickets too wide at loft stair railing. NOTE: Pickets at stair railings should not spaced wider than 4 3/8" apart. Repair as necessary.

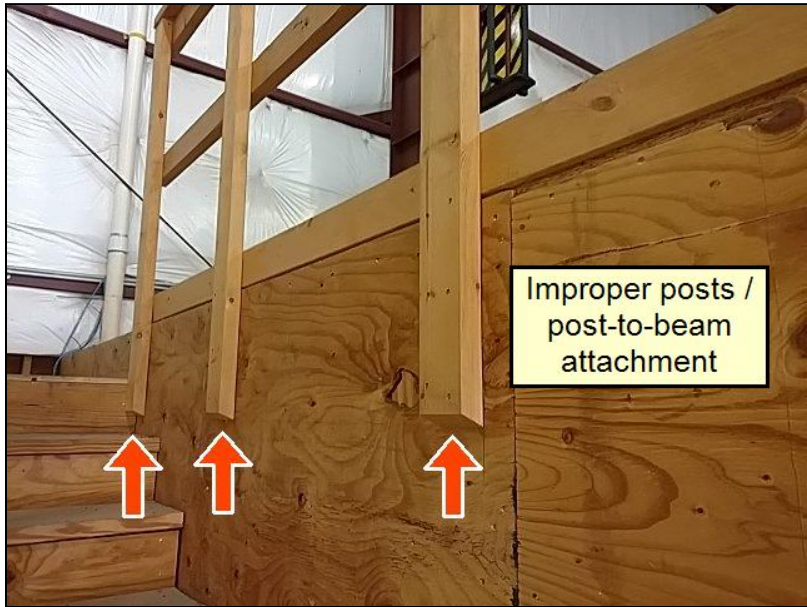


Loft stair railing

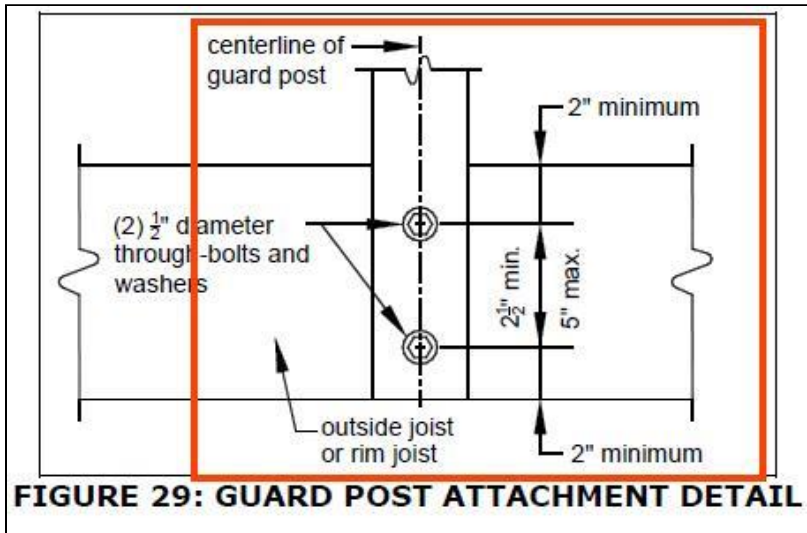




B. (4) Improper post-to-beam/rim board attachment. NOTE: Posts (i.e. 4x4") should be attached full-width with 2 x 1/2" bolts (and washers). Repair as necessary and ensure proper structure at interior side.



Loft guard rail attachment

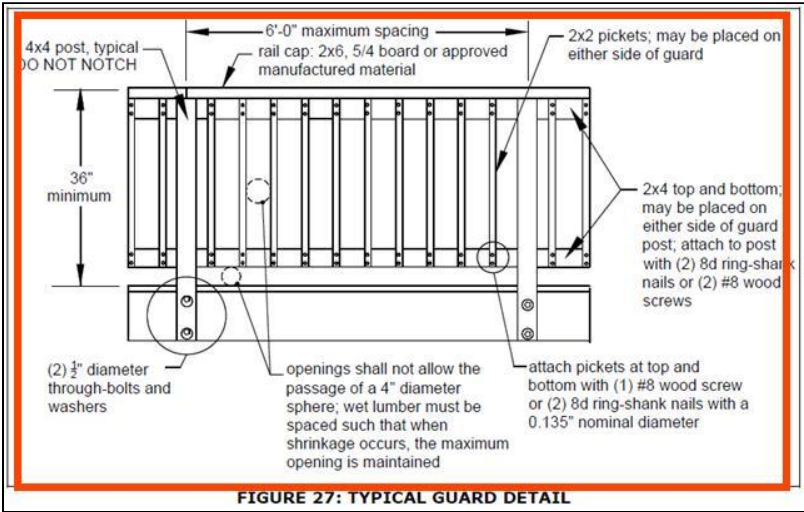




B. (5) Pickets too wide at loft guard rail. NOTE: Pickets at guard railings should not spaced wider than 4" apart. Repair as necessary.



Loft guard rail





B. (6) Damaged/worn flooring noted at warehouse office. Recommend replacement.



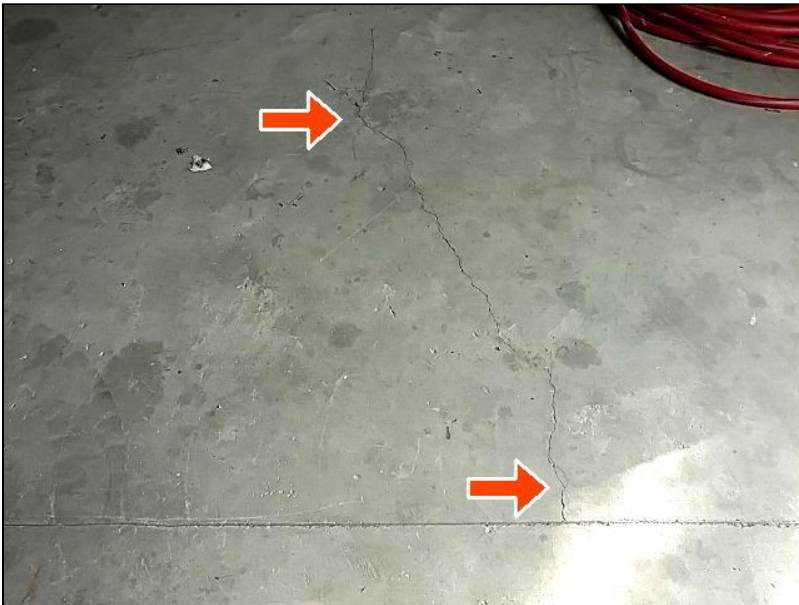
Warehouse office

B. (7) Cracks noted at warehouse flooring at numerous locations. Monitor and repair as necessary.



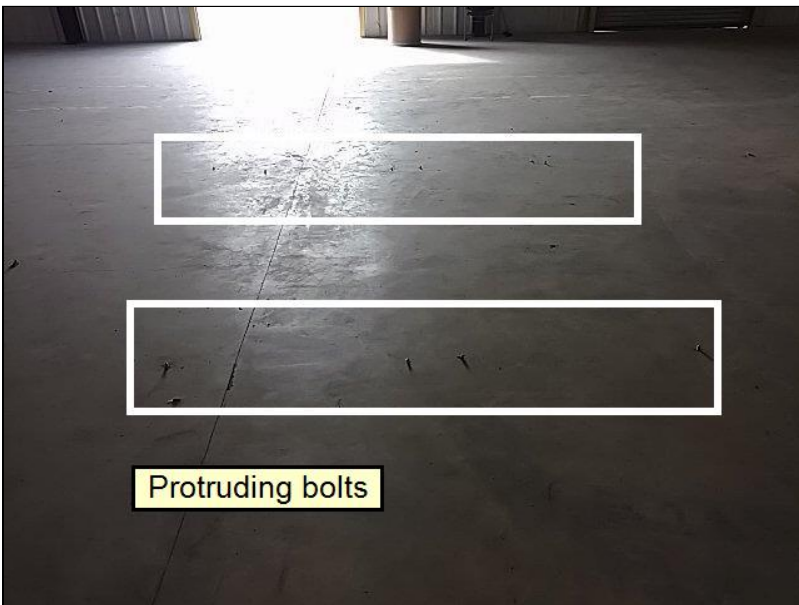
This location: Rear right





Pickets too wide at stair railing. NOTE: Pickets at stair railings should not spaced wider than 4 3/8" apart. Repair as necessary. Rear left

B. (8) Protruding bolts noted at numerous locations at the warehouse floor. Remove bolts and seal openings.



Warehouse, front center



B. (9) Oily substance noted at warehouse at right side. Recommend Phase I inspection. Clean with approved materials and dispose at approved locations.



Warehouse, right

INTERIORS

The inspector shall inspect: Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. The inspector is NOT required to describe: Systems and components of fuel-burning fireplaces.

The inspector is NOT required to inspect: Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures.

The inspector is NOT required to determine: Draft characteristics of fireplaces. The inspector is NOT required to move: Furniture, appliances, fireplace inserts, stoves or firebox contents.

The inspector is NOT required to operate: Appliances or fixtures, determining or reporting STC (Sound Transmission Class) ratings, and flammability issues/regulations.

7. Office area

Orientation: Facing room or area as applicable.

Styles & Materials

Ceiling materials:	Wall material:	Floor covering(s):
Drywall	Drywall	Linoleum
Ceiling tile		
Unfinished		

		IN	NI	NP	AR
A.	Windows, doors	•			
B.	Ceiling, walls, floors and stairs	•			
C.	Kitchens	•			
D.	Bathrooms				•
E.	Electrical	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

INNI NP AR

Comments:

A. Door at rear right office binds. Adjust as necessary.



Rear right office



B. Worn flooring noted throughout the office area. Refer to images for typical locations. Clean/repair/replace as necessary.



Foyer



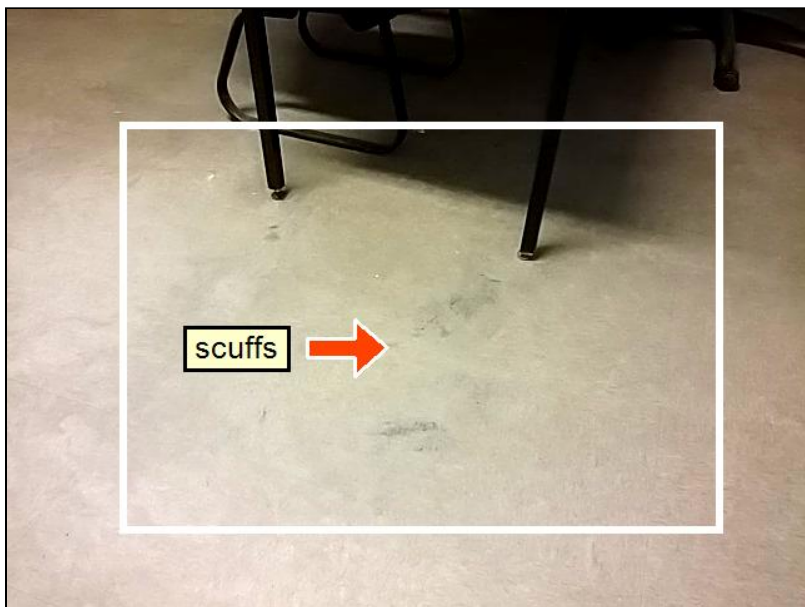


Toilet



Rear right office





Break area

D. (1) The toilet flush tank at the women's bathroom runs continuously (the fill valve appears to be damaged). NOTE: Inspector closed supply valve after inspection.



Women's bathroom



D. (2) Loose sink(s) noted at women's/men's bathroom(s). Secure sinks as necessary.



This location: Men's bathroom

E. Not operating light fixture noted at rear left office. Replace light bulbs/evaluate circuits. Replace/repair as necessary.



Rear left office

INTERIORS

The inspector shall inspect: Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. The inspector is NOT required to describe: Systems and components of fuel-burning fireplaces.

The inspector is NOT required to inspect: Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures.

The inspector is NOT required to determine: Draft characteristics of fireplaces. The inspector is NOT required to move: Furniture, appliances, fireplace inserts, stoves or firebox contents.

The inspector is NOT required to operate: Appliances or fixtures, determining or reporting STC (Sound Transmission Class) ratings, and flammability issues/regulations.





INVOICE

Champia Real Estate Inspections, LLC
4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770 953 0767
Inspected By: [REDACTED]

Inspection Date: 3/29/2018
Report ID: 31646

Customer Info:	Inspection Property:
[REDACTED]	[REDACTED]
Customer's Real Estate Professional: [REDACTED]	

Inspection Fee:			
Service	Price	Amount	Sub-Total
Inspection Fee	1260.00	1	1260.00
Other	-250.00	1	-250.00
			Tax \$0.00
			Total Price \$1010.00

Payment Method:
Payment Status:
Note:



LIGHT COMMERCIAL AUTHORIZATION AGREEMENT

THIS AGREEMENT LIMITS OUR LIABILITY. PLEASE READ IT CAREFULLY.

For and in consideration of the mutual promises and the terms of this agreement, THE PARTIES HERETO: Champia Real Estate Inspections (hereinafter referred to as "INSPECTOR") and customer, (hereinafter referred to as "CUSTOMER") AGREE AS FOLLOWS:

1. INSPECTOR agrees to perform a visual inspection of the subject property and to provide CUSTOMER with a written inspection report identifying the major deficiencies. The inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. The inspection includes only items and systems expressly and specifically identified as follows: drainage, foundation, electrical, plumbing, interior, materials of construction, attic, central heating & air conditioning (HVAC)(weather permitting) crawlspace/basement, and insulation.
2. Systems and condition of the systems, which are not within the scope of this inspection include, but are not limited to: environmental hazards (e.g., lead paint, mold/mildew, toxic or flammable materials, asbestos, radon); pest infestation; portable appliances (e.g. washers, dryers, window air conditioners, room heaters, & refrigerators); fire or lawn sprinkler systems; swimming pools; spas; tennis courts; playground or other recreational or leisure appliances; efficiency or performance evaluation of appliances or systems; solar heating systems; intercoms, timers, or audio equipment; below ground septic or drainage systems; water wells; detached building; EIFS stucco; any system which is shut down or otherwise secured; zoning ordinances; building code conformity; or any items considered cosmetic in nature. CUSTOMER understands that these systems and conditions are excluded from this inspection and they should have the seller demonstrate satisfactory operation of those items. Any general comments about these systems and conditions of these systems are informational only and do not represent an inspection.
3. The inspection will be performed in a professional manner. The inspection report will be delivered within 5 business days after the visual inspection. The inspection report is prepared for the sole, confidential, and exclusive use and possession of CUSTOMER. INSPECTOR accepts no responsibility for use or misinterpretation by third parties.
4. The INSPECTOR is not required to move personal property, debris, furniture, equipment, carpeting, or like materials which may impede access or limit visibility. Major deficiencies and defects which are latent or concealed are excluded from the inspection. The inspection is not intended to be technically exhaustive. Equipment and systems will not be dismantled. CUSTOMER agrees to assume all risk for all conditions which are concealed from view at the time of the inspection.
5. This inspection report is not intended to be used as a guarantee or warranty, expressed or implied, regarding the adequacy, performance or condition of any inspected structure, item or system. The inspection and report are not intended to reflect the value of the premises, or to make any representation as to the advisability of purchase or the suitability for use.
6. It is understood and agreed that should the INSPECTOR or the agents or employees of the INSPECTOR, or all, be found liable for any loss or damages resulting from a failure to perform any of the obligations of the INSPECTOR, including, but not limited to negligence, breach of contract, or otherwise, that the liability of the INSPECTOR or the agents or employees of the INSPECTOR, shall be limited to a sum equal to the amount of the INSPECTION FEE.
7. This INSPECTION AUTHORIZATION AGREEMENT represents the entire agreement between the INSPECTOR and the CUSTOMER. No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This agreement shall be binding upon and enforceable by the parties, if a corporation, its successors, assigns, agents, employees, attorneys in fact, attorneys at law and representatives, and if an individual, their heirs, executors, administrators, successors, assigns, attorneys in fact, attorneys and representatives.
8. THE INSPECTION AND REPORT ARE PERFORMED AND PREPARED FOR THE EXCLUSIVE AND CONFIDENTIAL USE AND POSSESSION OF THE CUSTOMER. THIS REPORT IS NOT TRANSFERABLE OR ASSIGNABLE. Neither the INSPECTOR nor Champia Real Estate Inspections is responsible or liable for the use of the report by any third party for any reason.
9. CUSTOMER understands and agrees that any claim for failure to accurately report the visually discernible conditions at the subject property, as limited herein above, shall be made in writing and reported to the Inspector within ten (10) business days of discovery. CUSTOMER further agrees that, with the exception of emergency conditions, CUSTOMER or CUSTOMER's agents, employees or independent contractors, will make NO alterations, modifications or repairs to the claimed discrepancy prior to a re-inspection by the inspector. CUSTOMER understands and agrees that any failure to notify the inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.
10. If CUSTOMER is not present at the beginning of the Inspection, or, for whatever reason, did not sign the Inspection



Authorization Agreement, the CUSTOMER by accepting, paying for, or using in any way the Inspection Report, explicitly acknowledge and agree to be bound by the terms and conditions of the Inspection Authorization Agreement.

The CUSTOMER agrees to pay to Champia Real Estate Inspections a retainer of half of the total fee at the time of inspection authorization with the balance to be paid upon delivery of the report.

